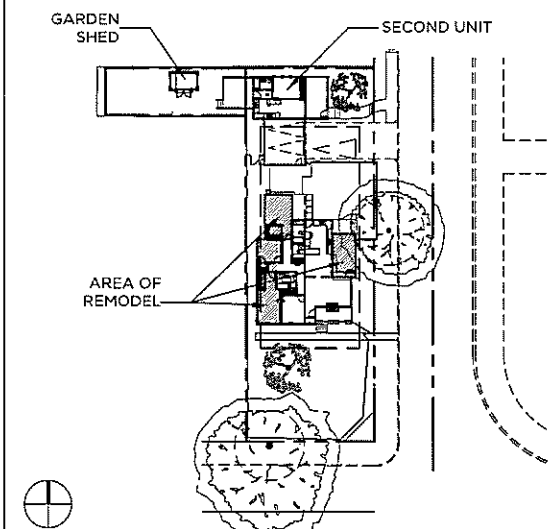
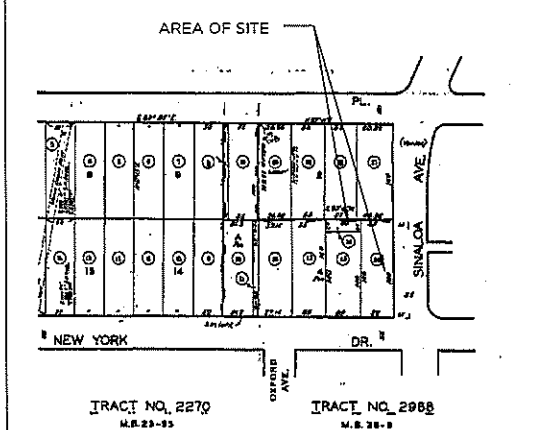


SCALE: NTS VICINITY MAP O4



SCALE: NTS KEY PLAN O3



SCALE: NTS ASSESSOR'S MAP O2

## BUILDING CODE INFORMATION

**1. SCOPE OF WORK:**  
THIS IS AN APPLICATION FOR A CONDITIONAL USE PERMIT AND CERTIFICATE OF COMPLIANCE FOR AN EXISTING SECOND UNIT AND LEGALIZATION OF PREVIOUSLY UNPERMITTED IMPROVEMENTS TO THE EXISTING SINGLE FAMILY RESIDENCE. 435 SF LEGALIZED. IMPROVEMENTS INCLUDE: STRUCTURAL, NEW WINDOWS, DOORS, KITCHEN, BATHROOMS, ELECTRICAL, MECHANICAL, PLUMBING, FINISHES, FIXTURES, PATIOS, AND GARDEN SHED.

**2. GOVERNING CODES:**  
ALL WORK SHALL BE IN CONFORMANCE WITH, BUT NOT LIMITED TO THE REQUIREMENTS OF THE FOLLOWING AND ANY OTHER FEDERAL, STATE, & LOCAL CODES, LAWS & ORDINANCES THAT APPLY:  
2010 CALIFORNIA BUILDING CODE  
2008 BUILDING ENERGY EFFICIENCY STANDARDS  
2010 CALIFORNIA FIRE CODE  
2010 CALIFORNIA ELECTRICAL CODE  
2010 CALIFORNIA MECHANICAL CODE  
2010 CALIFORNIA PLUMBING CODE

**3. PLANNING, ZONING & BUILDING DEPARTMENT:**  
COUNTY OF LOS ANGELES DEPARTMENT OF REGIONAL PLANNING  
320 W. TEMPLE ST., LOS ANGELES, CA 90012

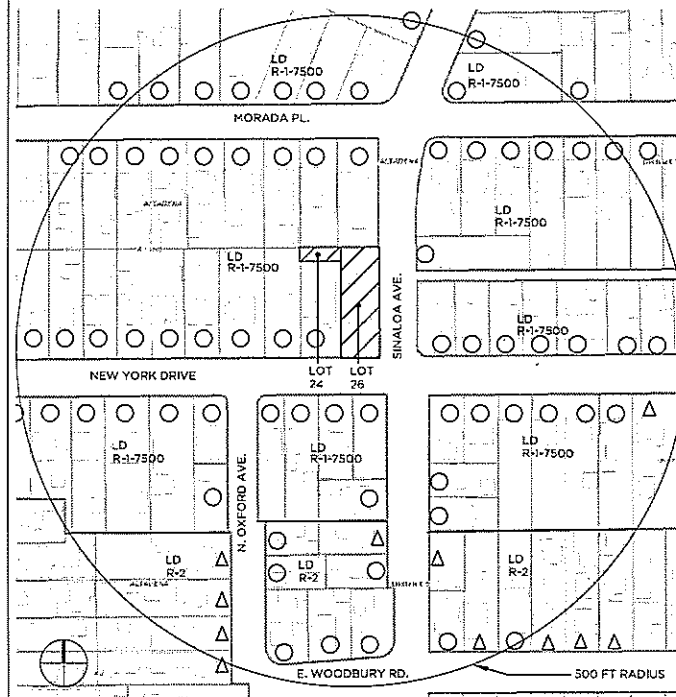
**4. ZONING:**  
R1

**5. CONSTRUCTION TYPE:**  
V-B

**6. AREA BREAKDOWN:**  
1673 NEW YORK DR. MAIN HOUSE TOTAL SF  
PER PAST PERMITS: 1368 SF  
(1140 ORIG + 204 DEN + 24 DEN ENLARGEMENT)  
PER ASSESSOR: 1838 SF  
PER AS-BUILT MEASUREMENTS: 1821 SF  
PER PROPOSED WORK: 1821 SF (INCLUDING 333 SF SCREEN PORCH + 187 SF COVERED PORCH/PATIO LEGALIZED CONVERSION)

1917 SINALOA AVE. SECOND UNIT TOTAL SF  
EXISTING PER PERMIT #83261: 576 SF

**7. LEGAL DESCRIPTION:**  
ASSESSOR'S PARCEL NO. 5847-028-026  
ASSESSOR'S PARCEL NO. 5847-028-024  
TRACT 32988 W 55FT OF E 80 FT OF S 160 FT OF LOT 4  
MAP BOOK 36-9



SCALE: 1/128"=1'-0" LAND USE MAP O1

## SYMBOL LEGEND

- SECTION / ELEVATION NO. SHEET NO.
- DETAIL NO. SHEET NO.
- DETAIL ELEVATION NO. SHEET NO.
- DOOR NO.
- WINDOW TYPE
- PARTITION CONSTRUCTION TYPE
- ROOM NAME
- ROOM NO.
- CEILING HEIGHT
- CONTROL POINT OR STARTING POINT
- REVISION
- NOTE KEY TO PAGE
- CENTER LINE

## ABBREVIATIONS

- ADJ. ADJACENT
- A.F.F. ABOVE FINISHED FLOOR
- BLK. BLOCKING
- C CENTERLINE
- CLR. CLEAR
- CLG. CEILING
- CNTR. COUNTER
- CNT. CENTER
- CONC. CONCRETE
- COL. COLUMN
- C.O.W. CENTER OF WALL
- CPT. CARPET
- CONT. CONTINUOUS
- CONSTR. CONSTRUCTION
- C.G. CORNER GUARD
- C.M.U. CONCRETE MASONRY UNIT
- DEMO. DEMOLITION
- CONST. CONSTRUCTION
- DWG. DRAWING
- DIA. DIAMETER
- DN. DOWN
- DR. DOOR
- ELEC. ELECTRICAL
- E.P. ELECTRICAL PANELBOARD
- EMER. EMERGENCY
- EQ. EQUAL
- (E) EXISTING
- EA. EACH
- EXT. EXTERIOR
- F.B.O. FURNISHED BY OWNER
- F.C. FIXTURE CONTRACTOR
- F.F. FINISH FLOOR
- F.D. FLOOR DRAIN
- FR. FRAME
- F.R.T. FIRE RETARDANT TREATED
- F.S. FIRE EXTINGUISHER
- F.O.W. FACE OF WALL
- GA. GAUGE
- G.C. GENERAL CONTRACTOR
- GWB. GYPSUM WALL BOARD
- H.C. HOLLOW CORE
- H.M. HOLLOW METAL
- HGT. HEIGHT
- HORIZ. HORIZONTAL
- INST. INSTALL
- INSUL. INSULATION
- MAX. MAXIMUM
- MAT'L. MATERIAL
- MECH. MECHANICAL
- MFR. MANUFACTURER
- MIR. MIRROR
- MIN. MINIMUM
- M.R. MOISTURE RESISTANT
- M.O. MASONRY OPENING
- N/A NOT APPLICABLE
- (N) NEW
- N.I.C. NOT IN CONTRACT
- NO. NUMBER
- N.T.S. NOT TO SCALE
- O.C. ON CENTER
- O.D. OUTSIDE DIAMETER
- OPG. OPENING
- OPP. OPPOSITE
- PT. PAINT
- PLWD. PLYWOOD
- P-LAM. PLASTIC LAMINATE
- PNL. PANEL
- QTY. QUANTITY
- RCP. REFLECTED CEILING PLAN
- R.B. RUBBER BASE
- REINF. REINFORCING
- REQ'D. REQUIRED
- REV. REVISED/REVISION
- S.C. SOLID CORE
- SCHED. SCHEDULE
- SIM. SIMILAR
- SPEC. SPECIFICATION
- SQ. SQUARE
- SUSP. SUSPENDED
- TEMP. TEMPERED
- TBD. TO BE DETERMINED
- TBV. TO BE VERIFIED
- TYP. TYPICAL
- U.O.N. UNLESS OTHERWISE NOTED
- V.C.A. VINYL COMPOSITION TILE
- V.I.F. VERIFY IN FIELD
- VERT. VERTICAL
- WD. WOOD

## SHEET INDEX

DRAWING	ARCHITECTURAL	ISSUED	BY	LA/MH
A-0.0	PROJECT INFORMATION	●	2014.07.08 -- CUP + CoC	
A-2.0	SITE PHOTOS	●		
A-3.0	EXISTING SITE PLAN	●		
A-3.1	PROPOSED SITE PLAN	●		
A-4.0	EXISTING MAIN FLOOR PLAN	●		
A-4.1	DEMO MAIN FLOOR PLAN	●		
A-4.2	PROPOSED MAIN FLOOR PLAN	●		
A-5.2	SECOND UNIT FLOOR PLAN	●		
A-6.0	EXISTING/DEMO EXTERIOR ELEVATIONS - MAIN	●		
A-6.1	EXISTING/DEMO EXTERIOR ELEVATIONS - MAIN	●		
A-6.4	PROPOSED EXTERIOR ELEVATIONS - MAIN	●		
A-6.5	PROPOSED EXTERIOR ELEVATIONS - MAIN	●		
A-6.6	EXTERIOR ELEVATIONS - SECOND UNIT	●		
A-6.7	EXTERIOR ELEVATIONS - SECOND UNIT	●		
A-6.8	EXTERIOR ELEVATIONS - GARDEN SHED	●		

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APN 5847-028-026  
APN 5847-028-024

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PASADENA, CA 91107

REVISIONS

ISSUE	DESCRIPTION	DATE
Δ	-	-

ARCHITECT AND APPLICANT

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PROJECT NAME

LINSCOTT

DATE

06.02.14

SCALE

AS INDICATED

DRAWN

LA/MH

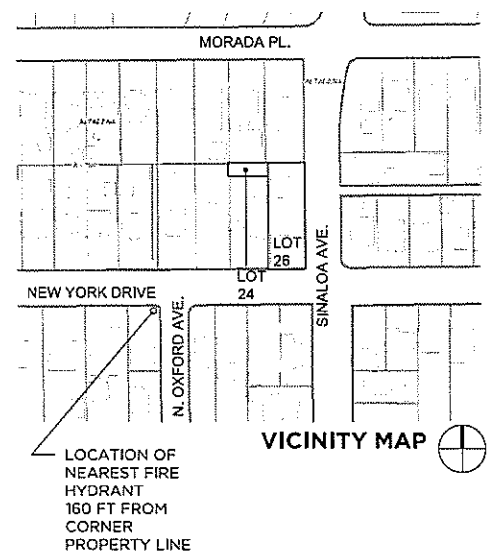
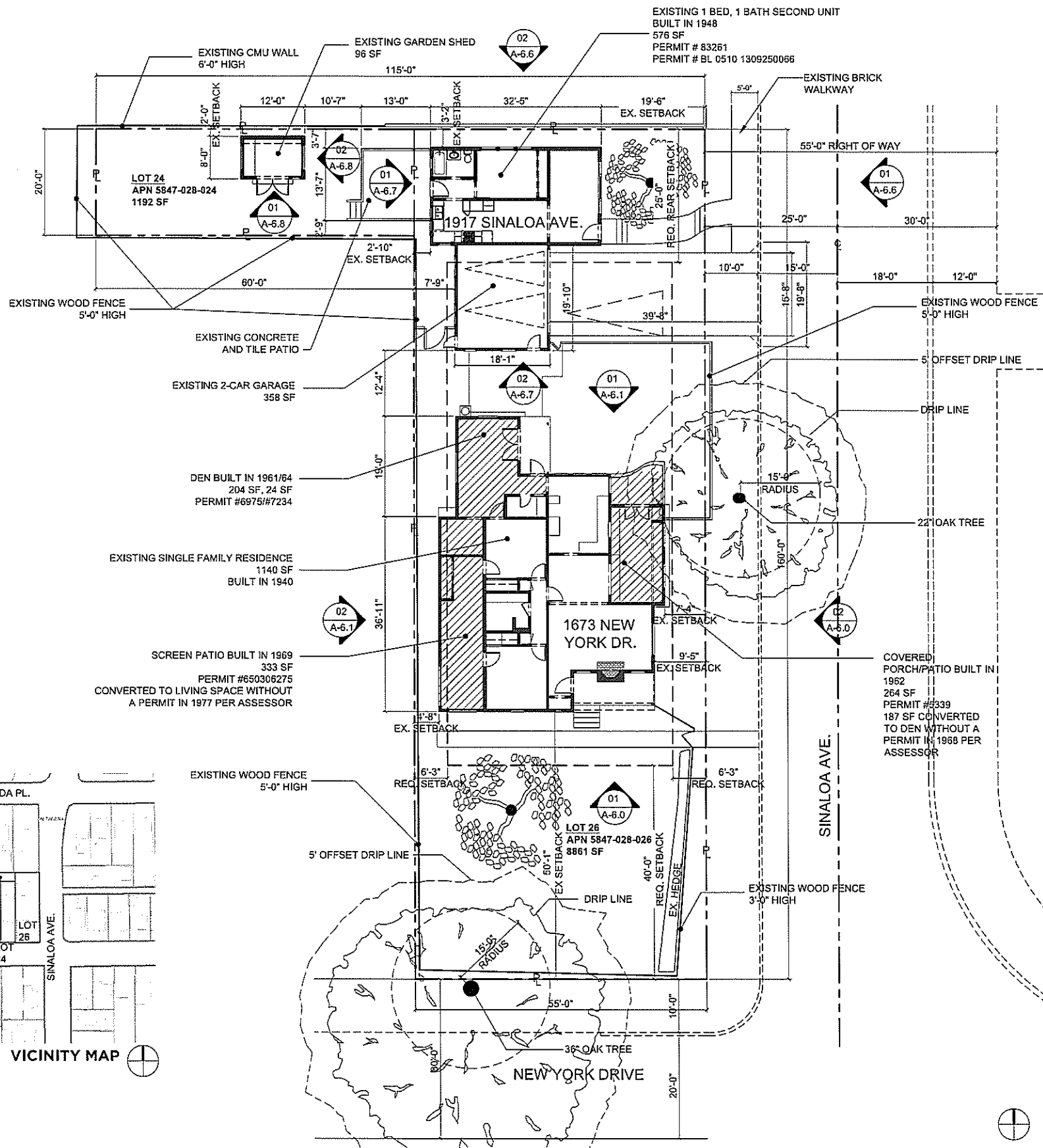
JOB #

1328.00

DRAWING NAME

PROJECT INFORMATION

A-0.0



- GENERAL SITE PLAN NOTES**
- CONTRACTOR TO PROVIDE ALL REQUIRED SHORING AND BRACING PRIOR TO AND DURING ANY DEMOLITION.
  - CONTRACTOR TO PROVIDE ALL REQUIRED WATER PROTECTION FROM THE ELEMENTS PRIOR TO AND DURING DEMOLITION AND CONSTRUCTION. PROVIDE PROTECTION OF SURFACES AND ADJOINING SPACES DURING CONSTRUCTION. ALL AREAS NOT IMPACTED BY CONSTRUCTION SHALL BE LEFT IN SAME CONDITION FOUND PRIOR TO START OF CONSTRUCTION UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO PROVIDE DUST CONTROL DURING DEMOLITION AND CONSTRUCTION.
  - SITE IS TO BE KEPT CLEAN IN ACCORDANCE WITH SITE MAINTENANCE PLAN.
  - STREET, CURB & GUTTER AND SIDEWALK ARE TO BE PROTECTED FROM DAMAGE SUCH AS INDENTATIONS FROM TRASH CONTAINER OR OTHER HEAVY OBJECTS PLACED ON PAVEMENT.
  - CONTRACTOR TO PROVIDE SECURITY CHAIN-LINK FENCE AROUND UNSECURED SITE AREAS.
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  - AN APPROVED SEISMIC GAS SHUTOFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- GRADING**
- ALL GRADES SHALL SLOPE AWAY FROM BUILDING A MINIMUM OF 5% (IF LANDSCAPE/DIRT) 2% (IF PAVED) AND BE A MINIMUM OF 8" BELOW WOOD SILL PLATE AT PERIMETER OF BUILDING. SEE GRADING PLAN FOR ADDITIONAL INFORMATION.
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- NOTES**
- NO EASEMENTS
  - NO POOL ON SITE
  - ONLY TWO OAK TREES OVERHANG LOT AS SHOWN. APPROVED OAK TREE PERMIT #2014-00014
  - NO SLOPE STEEPER THAN 3:1 WITHIN 40' OF ADDITIONS

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ALTADENA, CA 91001  
APN 5847-028-026  
APN 5847-028-024

**OWNER**

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PASADENA, CA 91107

**REVISIONS**

ISSUE	DESCRIPTION	DATE
1		
2		
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10		

**ARCHITECT AND APPLICANT**

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**PROJECT NAME**

LINSCOTT

**DATE**

06.02.14

**SCALE**

3/32" = 1'-0"

**DRAWN**

LA/MH

**JOB #**

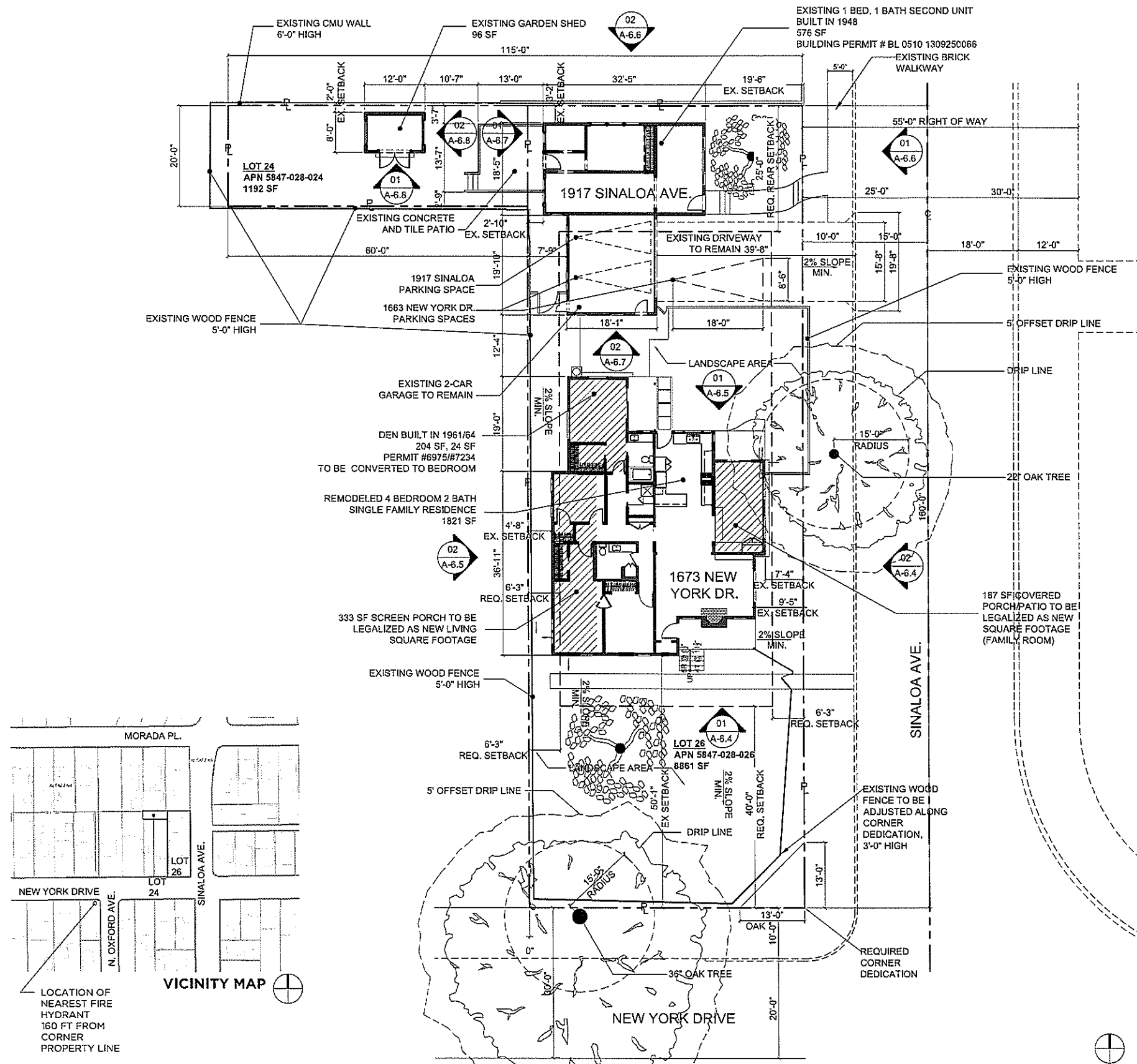
1328.00

**DRAWING NAME**

EXISTING SITE PLAN

**A-3.0**

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**GENERAL SITE PLAN NOTES**

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- NO POOL ON SITE
- ONLY TWO OAK TREES OVERHANG LOT AS SHOWN. APPROVED OAK TREE PERMIT #2014-00014
- NO SLOPE STEEPER THAN 3:1 WITHIN 40' OF ADDITIONS

**PARKING CALCULATIONS**

UNIT	# OF BEDROOMS
1673 NEW YORK DR.	4
1917 SINALOA AVE	1
<b>TOTAL BEDROOMS</b>	<b>5</b>
<b>REQUIRED PARKING</b>	<b>2 COVERED STANDARD</b>
	<b>1 UNCOVERED STANDARD TANDEM</b>
<b>TOTAL REQ. PARKING</b>	<b>3</b>
<b>PROVIDED PARKING</b>	<b>2 COVERED STANDARD</b>
	<b>1 UNCOVERED STANDARD TANDEM</b>
<b>TOTAL PROVIDED PARKING</b>	<b>3</b>

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**SCALE**

3/32" = 1'-0"

**DRAWN**

LA/MH

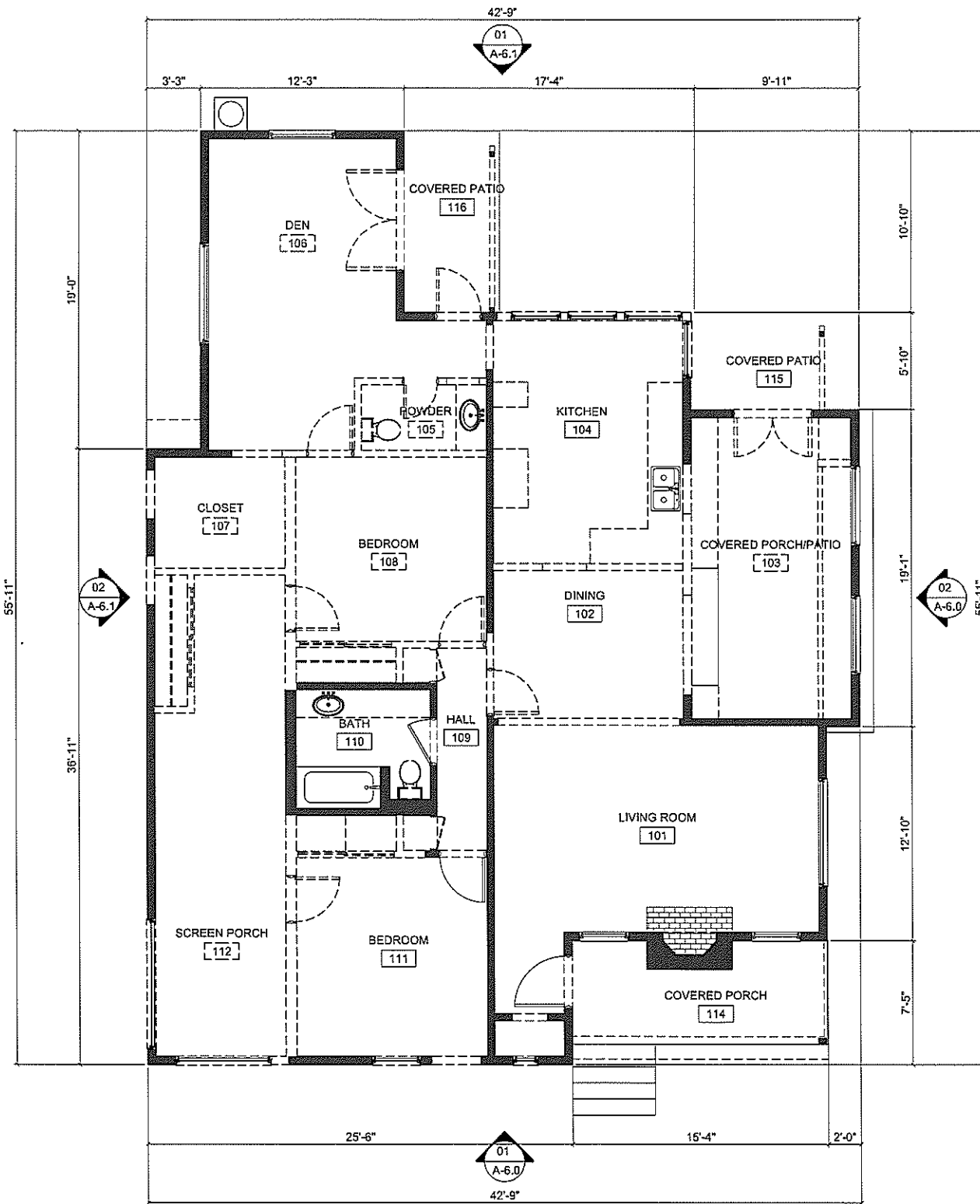
**JOB #**

1328.00

**DRAWING NAME**

PROPOSED SITE PLAN

**A-3.1**



SCALE: 1/4"=1'-0"

DEMO MAIN FLOOR PLAN 01

### GENERAL FLOOR PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO DIMENSIONS SHOWN.
- VERIFY ALL EXISTING CONDITIONS AND INFORM ARCHITECT OF ANY DISCREPANCY.
- CONTACT ARCHITECT FOR ANY MISSING DIMENSIONS OR INFORMATION.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF STUD.
- PROVIDE R-19 MIN. INSULATION IN ATTIC SPACES.
- PROVIDE R-13 INSULATION AT ALL EXTERIOR WALLS. INSULATE AROUND PLUMBING PIPES.
- CARPENTER TO COORDINATE FRAMING LAYOUT WITH LIGHTING, PLUMBING AND MECHANICAL PLANS AND INFORM ARCHITECT OF ANY DISCREPANCIES. ALL REQUIRED FURRING, SOFFITS AND CEILING JOISTS FOR VOLUME CEILINGS SHALL BE INCLUDED IN BID.
- REFER TO REFLECTED CEILING PLANS, BUILDING SECTIONS AND INTERIOR ELEVATIONS FOR VOLUME CEILINGS.
- STRUCTURAL FRAMING MAY NOT BE SHOWN ON STRUCTURAL PLANS. ROUGH CARPENTER TO REVIEW ALL ARCHITECTURAL SHEETS FOR CLEAR UNDERSTANDING OF WORK TO BE INCLUDED IN BID.
- PROVIDE DRAFT STOPS AS REQUIRED BY CURRENT BUILDING CODE. ENCLOSED SPACES IN STUD WALL, PARTITIONS AND FURRED WALLS SHALL HAVE FIRE STOPS AT TOP AND BOTTOM AND AT MID-POINT IN WALLS MORE THAN 10 FEET HIGH. VERIFY WITH STRUCTURAL PLANS.
- CONTRACTOR SHALL ALLOW FOR AND PROVIDE ALL REQUIRED SHIMING SO THAT ALL FINISH FLOOR MATERIALS FINISH AT THE SAME ELEVATION U.N.D.
- SEE GENERAL NOTES, SPECIFICATIONS MANUAL, AND STRUCTURAL PLANS FOR ADDITIONAL FRAMING INFORMATION.
- VERIFY ALL ROUGH OPENING SIZES FOR WINDOWS AND DOORS WITH MANUFACTURER.
- PROVIDE 40 LUMENS / WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS AND ROOMS WITH WATER CLOSETS.(FLUORESCENT)
- PLUMBING FIXTURE HARDWARE SHALL COMPLY AS FOLLOWS: LOW FLOW TOILETS (1.6 GPF FLUSH), SHOWERHEAD (2.5 GPM), AND FAUCETS (2.2 GPM) PER WATER CONSERVATION CODE REQUIREMENTS.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES, POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.
- KITCHEN SINKS, LAVATORIES, BATH-TUBS, SHOWERS BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY.
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS.
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.3. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.

### KEY NOTES

- PROVIDE 1 HR FIRE-RATED WALL WHERE GARAGE MEETS LIVING SPACE.
- ALL WOOD PANELING ON EXISTING WALLS TO BE REMOVED AND REPLACED WITH DRYWALL WHERE APPLICABLE.
- ALL ALUMINUM SIDING TO BE REMOVED AND REPLACED WITH STUCCO AT BUILDING EXTERIOR. SEE EXTERIOR ELEVATIONS.
- 
- SMOKE ALARM, INTERCONNECTED AND HARDWIRED WITH BATTERY BACK-UP
- CARBON MONOXIDE ALARM, INTERCONNECTED AND HARDWIRED WITH BATTERY BACK-UP

### WALL TYPE LEGEND

SEE A-7.0 SERIES FOR BUILDING SECTIONS AND DETAIL CALL-OUTS. SEE A-9.0 SERIES FOR DETAILS.

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW 2x4 NON-RATED WALL

### ARCHITECT



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01		
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06.02.14

### SCALE

1/4" = 1'-0"

### DRAWN

LA/MH

### JOB #

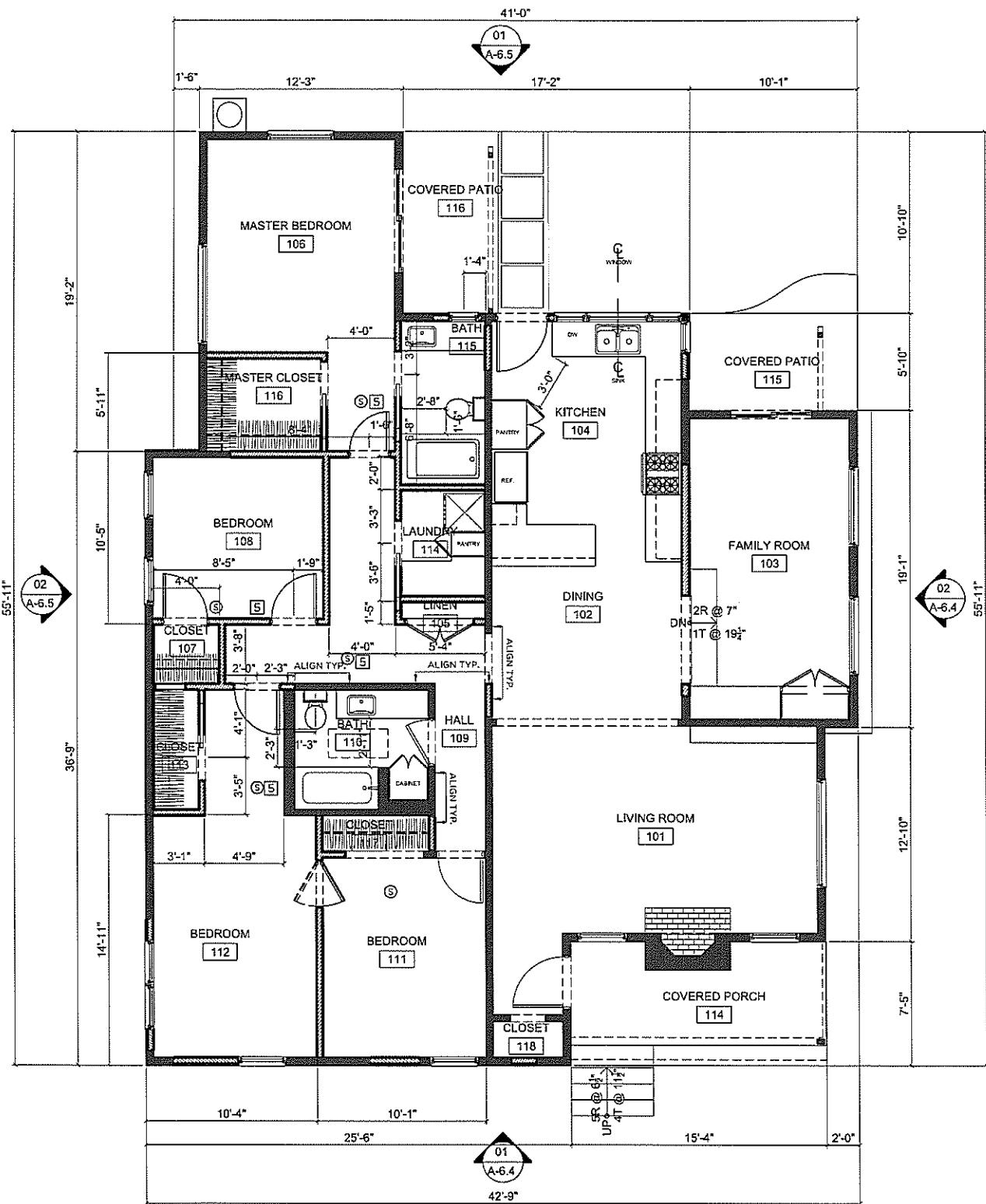
1328.00

### DRAWING NAME

DEMO MAIN FLOOR PLAN

**A-4.1**

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SCALE: 1/4"=1'-0"

PROPOSED MAIN FLOOR PLAN 01

#### GENERAL FLOOR PLAN NOTES

- DO NOT SCALE DRAWINGS, REFER TO DIMENSIONS SHOWN.
- VERIFY ALL EXISTING CONDITIONS AND INFORM ARCHITECT OF ANY DISCREPANCY.
- CONTACT ARCHITECT FOR ANY MISSING DIMENSIONS OR INFORMATION.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF STUD.
- PROVIDE R-19 MIN. INSULATION IN ATTIC SPACES.
- PROVIDE R-13 INSULATION AT ALL EXTERIOR WALLS. INSULATE AROUND PLUMBING PIPES.
- CARPENTER TO COORDINATE FRAMING LAYOUT WITH LIGHTING, PLUMBING AND MECHANICAL PLANS AND INFORM ARCHITECT OF ANY DISCREPANCIES. ALL REQUIRED FURRING, SOFFITS AND CEILING JOISTS FOR VOLUME CEILINGS SHALL BE INCLUDED IN BID.
- REFER TO REFLECTED CEILING PLANS, BUILDING SECTIONS AND INTERIOR ELEVATIONS FOR VOLUME CEILINGS.
- STRUCTURAL FRAMING MAY NOT BE SHOWN ON STRUCTURAL PLANS. ROUGH CARPENTER TO REVIEW ALL ARCHITECTURAL SHEETS FOR CLEAR UNDERSTANDING OF WORK TO BE INCLUDED IN BID.
- PROVIDE DRAFT STOPS AS REQUIRED BY CURRENT BUILDING CODE. ENCLOSED SPACES IN STUD WALL, PARTITIONS AND FURRED WALLS SHALL HAVE FIRE STOPS AT TOP AND BOTTOM AND AT MID-POINT IN WALLS MORE THAN 10 FEET HIGH. VERIFY WITH STRUCTURAL PLANS.
- CONTRACTOR SHALL ALLOW FOR AND PROVIDE ALL REQUIRED SHIMING SO THAT ALL FINISH FLOOR MATERIALS FINISH AT THE SAME ELEVATION U.N.O.
- SEE GENERAL NOTES, SPECIFICATIONS MANUAL, AND STRUCTURAL PLANS FOR ADDITIONAL FRAMING INFORMATION.
- VERIFY ALL ROUGH OPENING SIZES FOR WINDOWS AND DOORS WITH MANUFACTURER.
- PROVIDE 40 LUMENS / WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS AND ROOMS WITH WATER CLOSETS (FLUORESCENT).
- PLUMBING FIXTURE HARDWARE SHALL COMPLY AS FOLLOWS: LOW FLOW TOILETS (1.6 GPF FLUSH), SHOWERHEAD (2.2 GPM), AND FAUCETS (2.2 GPM) PER WATER CONSERVATION CODE REQUIREMENTS.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES, POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.
- KITCHEN SINKS, LAVATORIES, BATH-TUBS, SHOWERS BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY.
- BATH-TUB AND SHOWER FLOORS, WALLS ABOVE BATH-TUBS WITH SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS.
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.

#### KEY NOTES

- PROVIDE 1 HR FIRE-RATED WALL WHERE GARAGE MEETS LIVING SPACE.
- ALL WOOD PANELING ON EXISTING WALLS TO BE REMOVED AND REPLACED WITH DRYWALL WHERE APPLICABLE.
- ALL ALUMINUM SIDING TO BE REMOVED AND REPLACED WITH STUCCO AT BUILDING EXTERIOR. SEE EXTERIOR ELEVATIONS.
- 
- SMOKE ALARM, INTERCONNECTED AND HARDWIRED WITH BATTERY BACK-UP
- CARBON MONOXIDE ALARM, INTERCONNECTED AND HARDWIRED WITH BATTERY BACK-UP

#### WALL TYPE LEGEND

SEE A-7.0 SERIES FOR BUILDING SECTIONS AND DETAIL CALL-OUTS. SEE A-9.0 SERIES FOR DETAILS.

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW 2x4 NON-RATED WALL

#### ARCHITECT



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#### PROJECT

**LINSCOTT**  
1673 NEW YORK DR. (MAIN)  
+  
1917 SINALOA AVE. (2ND UNIT)  
ALTADENA, CA 91001  
APN 5847-028-026  
APN 5847-028-024

#### OWNER

**LINSCOTT**  
110 S. GREENWOOD AVE.  
PASADENA, CA 91107

#### REVISIONS

ISSUE	DESCRIPTION	DATE
01		
02		
03		
04		
05		
06		
07		
08		
09		
10		

#### ARCHITECT AND APPLICANT

**LAUREN ADAMS, AIA**  
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#### PROJECT NAME

LINSCOTT

#### DATE

06.02.14

#### SCALE

1/4" = 1'-0"

#### DRAWN

LA/MH

#### JOB #

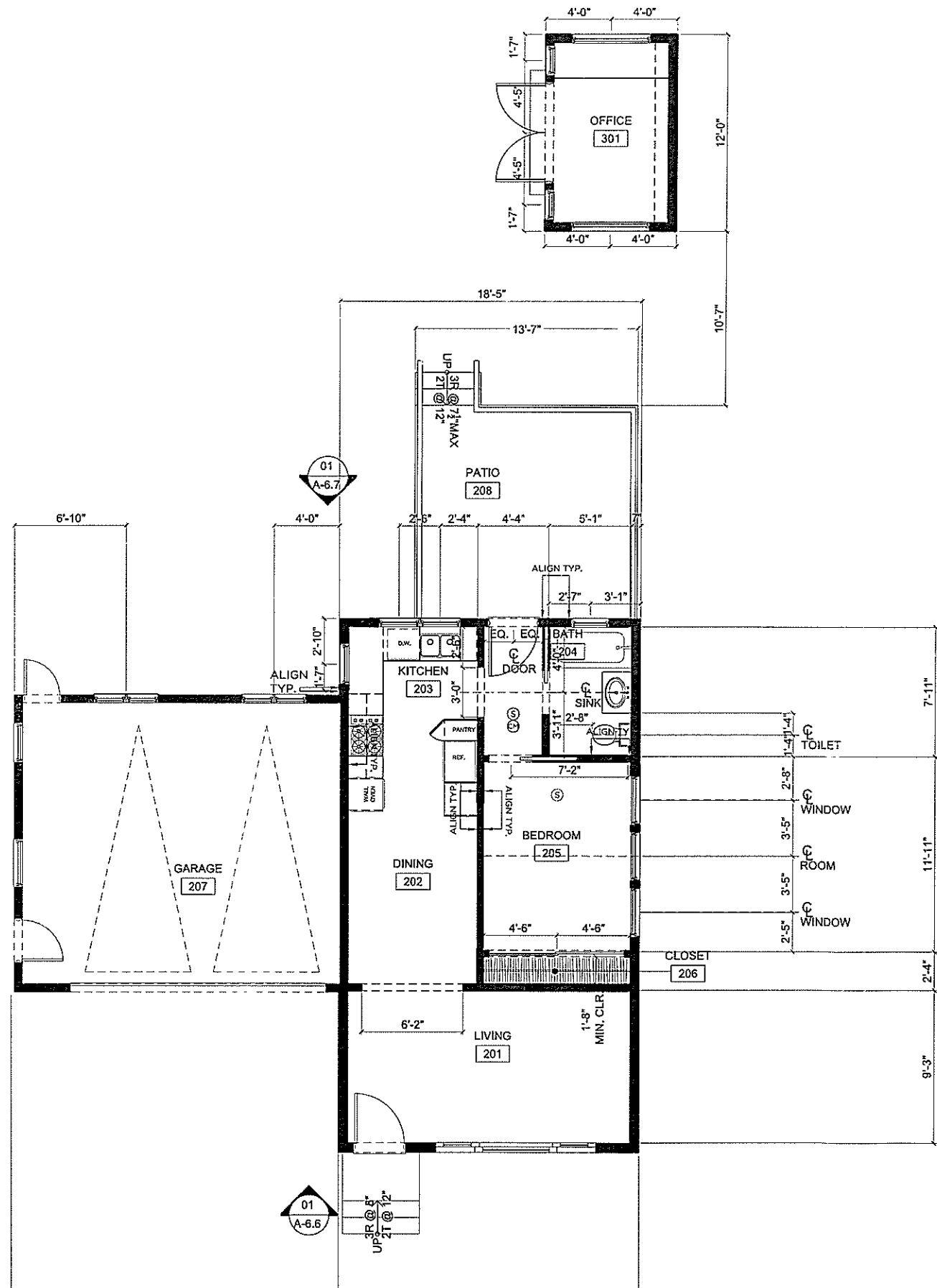
1328.00

#### DRAWING NAME

PROPOSED MAIN FLOOR PLAN

**A-4.2**

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GENERAL FLOOR PLAN NOTES

- A. DO NOT SCALE DRAWINGS, REFER TO DIMENSIONS SHOWN.
- B. VERIFY ALL EXISTING CONDITIONS AND INFORM ARCHITECT OF ANY DISCREPANCY.
- C. CONTACT ARCHITECT FOR ANY MISSING DIMENSIONS OR INFORMATION.
- D. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF STUD.
- E. PROVIDE R-19 MIN. INSULATION IN ATTIC SPACES.
- F. PROVIDE R-13 INSULATION AT ALL EXTERIOR WALLS, INSULATE AROUND PLUMBING PIPES.
- G. CARPENTER TO COORDINATE FRAMING LAYOUT WITH LIGHTING, PLUMBING AND MECHANICAL PLANS AND INFORM ARCHITECT OF ANY DISCREPANCIES. ALL REQUIRED FURRING, SOFFITS AND CEILING JOISTS FOR VOLUME CEILINGS SHALL BE INCLUDED IN BID.
- H. REFER TO REFLECTED CEILING PLANS, BUILDING SECTIONS AND INTERIOR ELEVATIONS FOR VOLUME CEILINGS.
- I. STRUCTURAL FRAMING MAY NOT BE SHOWN ON STRUCTURAL PLANS. ROUGH CARPENTER TO REVIEW ALL ARCHITECTURAL SHEETS FOR CLEAR UNDERSTANDING OF WORK TO BE INCLUDED IN BID.
- J. PROVIDE DRAFT STOPS AS REQUIRED BY CURRENT BUILDING CODE. ENCLOSED SPACES IN STUD WALL, PARTITIONS AND FURRED WALLS SHALL HAVE FIRE STOPS AT TOP AND BOTTOM AND AT MID-POINT IN WALLS MORE THAN 10 FEET HIGH. VERIFY WITH STRUCTURAL PLANS.
- K. CONTRACTOR SHALL ALLOW FOR AND PROVIDE ALL REQUIRED SHIMING SO THAT ALL FINISH FLOOR MATERIALS FINISH AT THE SAME ELEVATION U.N.O.
- L. SEE GENERAL NOTES, SPECIFICATIONS MANUAL, AND STRUCTURAL PLANS FOR ADDITIONAL FRAMING INFORMATION.
- M. VERIFY ALL ROUGH OPENING SIZES FOR WINDOWS AND DOORS WITH MANUFACTURER.
- N. PROVIDE 40 LUMENS / WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS AND ROOMS WITH WATER CLOSETS.(FLUORESCENT)
- O. PLUMBING FIXTURE HARDWARE SHALL COMPLY AS FOLLOWS: LOW FLOW TOILETS (1.6 GP FLUSH), SHOWERHEAD (2.5 GPM), AND FAUCETS (2.2 GPM) PER WATER CONSERVATION CODE REQUIREMENTS.
- P. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTIONS DELAYS AND/OR ADDITIONAL EXPENSES.
- Q. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- R. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.
- S. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY.
- T. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WIT HA SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- U. PROVED ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- V. PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- W. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS.
- X. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R310.1 CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.

KEY NOTES

- 1 PROVIDE 1 HR FIRE-RATED WALL WHERE GARAGE MEETS LIVING SPACE.
- 2 ALL WOOD PANELING ON EXISTING WALLS TO BE REMOVED AND REPLACED WITH DRYWALL WHERE APPLICABLE.
- 3 ALL ALUMINUM SIDING TO BE REMOVED AND REPLACED WITH STUCCO AT BUILDING EXTERIOR. SEE EXTERIOR ELEVATIONS.
- 4 --
- 5 SMOKE ALARM, INTERCONNECTED AND HARDWIRED WITH BATTERY BACK-UP
- 6 CARBON MONOXIDE ALARM, INTERCONNECTED AND HARDWIRED WITH BATTERY BACK-UP

WALL TYPE LEGEND

- SEE A-7.0 SERIES FOR BUILDING SECTIONS AND DETAIL CALL-OUTS. SEE A-9.0 SERIES FOR DETAILS.
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW 2x4 NON-RATED WALL

ARCHITECT



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PROJECT

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1917 SINALOA AVE. (2ND UNIT)  
ALTADENA, CA 91001  
APN 5847-028-026  
APN 5847-028-024

OWNER

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PASADENA, CA 91107

REVISIONS

ISSUE	DESCRIPTION	DATE
01	A-6.7	
02	A-6.7	
03		
04		
05		
06		
07		
08		
09		
10		

ARCHITECT AND APPLICANT

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LAUREN@LETTERFOUR.COM

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PROJECT NAME

LINSCOTT

DATE

06.02.14

SCALE

1/4" = 1'-0"

DRAWN

LA/MH

JOB #

1328.00

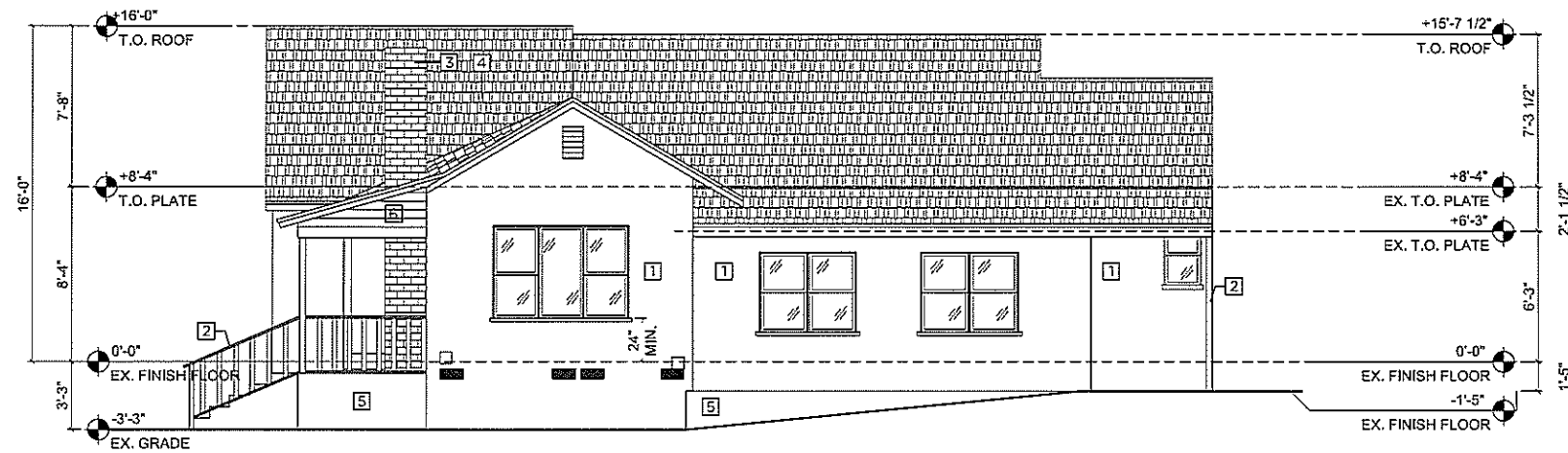
DRAWING NAME

SECOND UNIT FLOOR PLAN

**A-5.2**

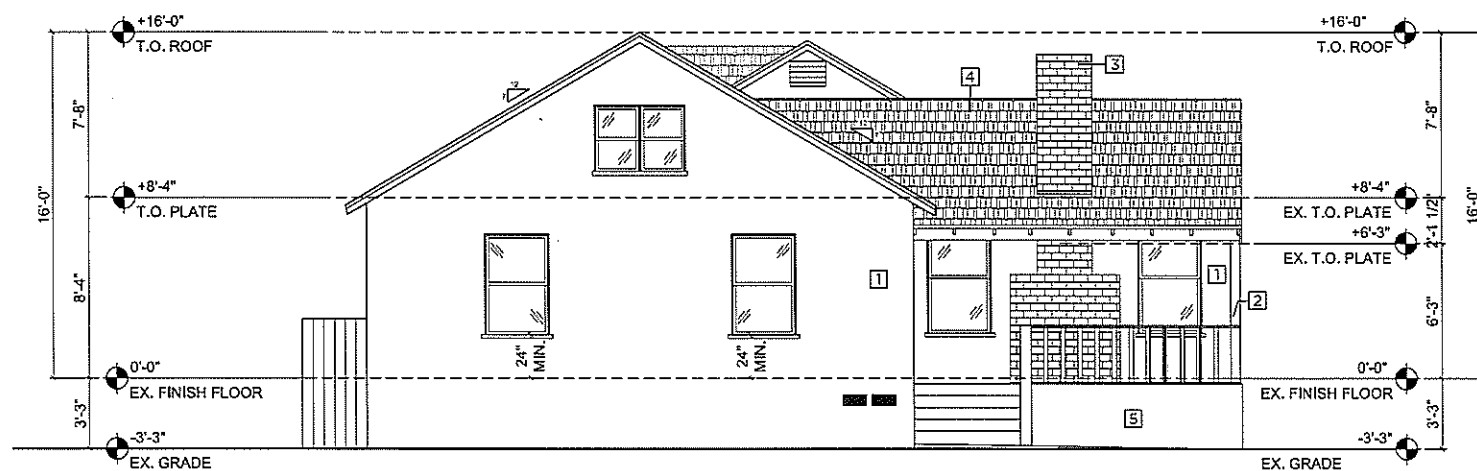
SCALE: 1/4"=1'-0"

SECOND UNIT FLOOR PLAN 01



SCALE: 1/4"=1'-0"

PROPOSED MAIN WEST ELEVATION O2



SCALE: 1/4"=1'-0"

PROPOSED MAIN NORTH ELEVATION O1

#### NOTES TO SHEET

- 1 STUCCO
- 2 PAINT GRADE WOOD
- 3 BRICK
- 4 CLASS "A" ASPHALT ROOFING
- 5 CONCRETE SLAB/STEM WALL
- 6 WOOD SIDING
- 7 CEMENT FIBER BOARD
- 8 EXISTING ALUMINUM SIDING TO BE REMOVED
- 9
- 10

#### GENERAL ELEVATION NOTES

1. CONTRACTOR TO VERIFY CONFORMANCE TO CITY AGENCY BUILDING HEIGHTS AND ENVELOPE LIMITS. INFORM ARCHITECT OF ANY DISCREPANCIES.
2. CONTRACTOR TO COORDINATE W/ LANDSCAPE DRAWINGS FOR EXACT LOCATIONS AND ELEVATIONS OF HARDSCAPE. INFORM ARCHITECT OF ANY DISCREPANCIES.
3. PROVIDE CONTINUOUS SHEET METAL WEEP SCREED. LOCATE WEEP SCREED AT LOWEST POSSIBLE POINT OF CONCRETE FOOTING AND SILL PLATE. COLOR COAT FACE OF CONCRETE BELOW WEEP SCREED TO A POINT NOT LESS THAN 4" BELOW FINISH GRADE WHERE WALKS, STEPS, PATIOS, OR OTHER FINISH SURFACES DO NOT OCCUR.
4. U. L. APPROVED SPARK ARRESTORS W/ METAL SHROUD AT TOPS OF ALL FIREPLACE CHIMNEYS. USE IN ACCORDANCE WITH U.L. APPROVED METALBESTOS #SS11 FLUE SYSTEM BY SELKIRK. ALL CHIMNEYS SHALL TERMINATE NOT LESS THAN 2'-0" ABOVE THE HIGHEST POINT OF ROOF WITH IN 10'-0" OF CHIMNEY.

#### ARCHITECT



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#### OWNER

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110 S. GREENWOOD AVE.  
PASADENA, CA 91107

#### REVISIONS

ISSUE	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
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#### ARCHITECT AND APPLICANT

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#### PROJECT NAME

LINSCOTT

#### DATE

06.02.14

#### SCALE

1/4" = 1'-0"

#### DRAWN

LA/MH

#### JOB #

1328.00

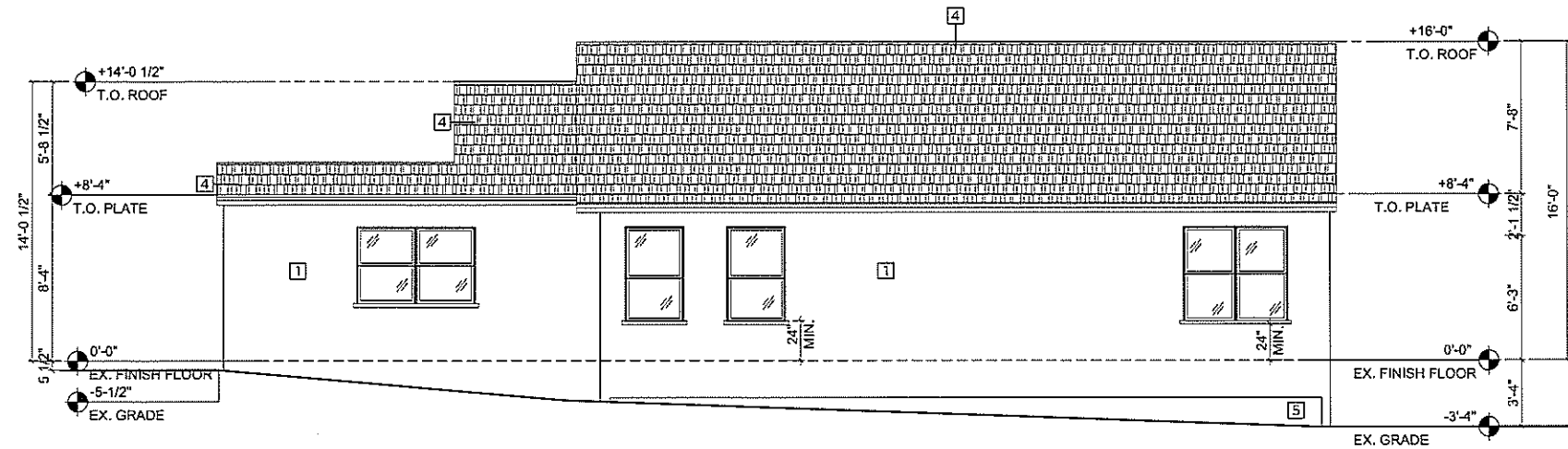
#### DRAWING NAME

PROPOSED EXTERIOR ELEVATIONS

**A-6.4**

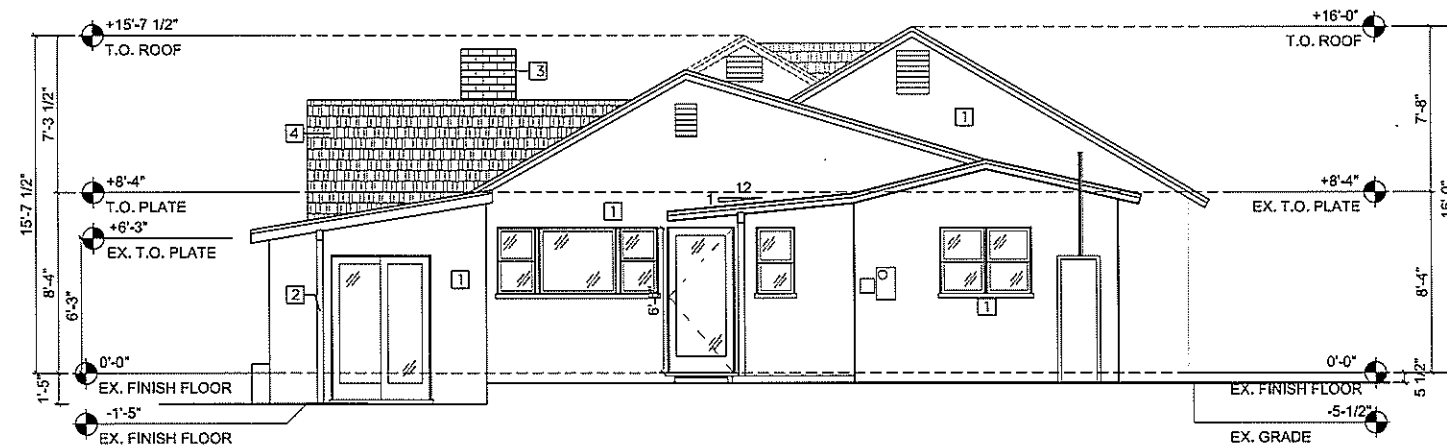
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SCALE: 1/4"=1'-0"

PROPOSED MAIN EAST ELEVATION 02



SCALE: 1/4"=1'-0"

PROPOSED MAIN SOUTH ELEVATION 01

NOTES TO SHEET

- 1 STUCCO
- 2 PAINT GRADE WOOD
- 3 BRICK
- 4 CLASS "A" ASPHALT ROOFING
- 5 CONCRETE SLAB/STEM WALL
- 6 WOOD SIDING
- 7 CEMENT FIBER BOARD
- 8 EXISTING ALUMINUM SIDING TO BE REMOVED
- 9
- 10

GENERAL ELEVATION NOTES

- 1. CONTRACTOR TO VERIFY CONFORMANCE TO CITY AGENCY BUILDING HEIGHTS AND ENVELOPE LIMITS. INFORM ARCHITECT OF ANY DISCREPANCIES.
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- 3. PROVIDE CONTINUOUS SHEET METAL WEEP SCREED. LOCATE WEEP SCREED AT LOWEST POSSIBLE POINT OF CONCRETE FOOTING AND SILL PLATE. COLOR COAT FACE OF CONCRETE BELOW WEEP SCREED TO A POINT NOT LESS THAN 4" BELOW FINISH GRADE WHERE WALKS, STEPS, PATIOS, OR OTHER FINISH SURFACES DO NOT OCCUR.
- 4. U. L. APPROVED SPARK ARRESTORS W/ METAL SHROUD AT TOPS OF ALL FIREPLACE CHIMNEYS. USE IN ACCORDANCE WITH U.L. APPROVED METALBESTOS #5511 FLUE SYSTEM BY SELKIRK. ALL CHIMNEYS SHALL TERMINATE NOT LESS THAN 2'-0" ABOVE THE HIGHEST POINT OF ROOF WITH IN 10'-0" OF CHIMNEY.

ARCHITECT



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REVISIONS

ISSUE	DESCRIPTION	DATE
Δ	—	—

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PROJECT NAME

LINSCOTT

DATE

06.02.14

SCALE

1/4" = 1'-0"

DRAWN

LA/MH

JOB #

1328.00

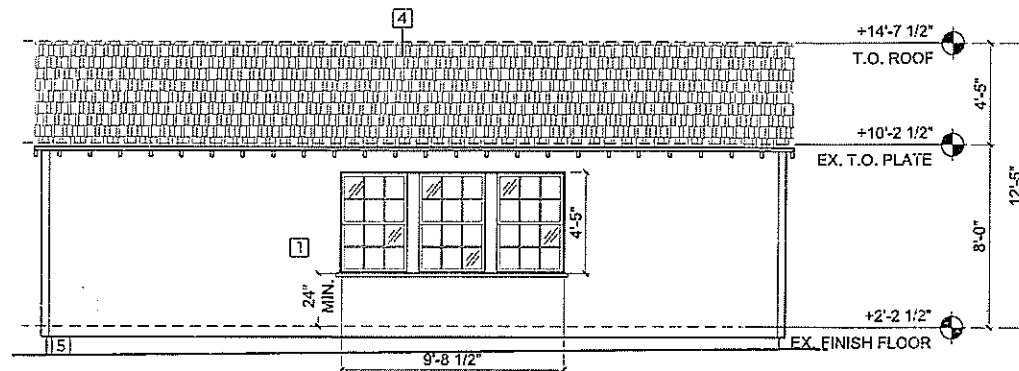
DRAWING NAME

PROPOSED EXTERIOR ELEVATIONS

**A-6.5**

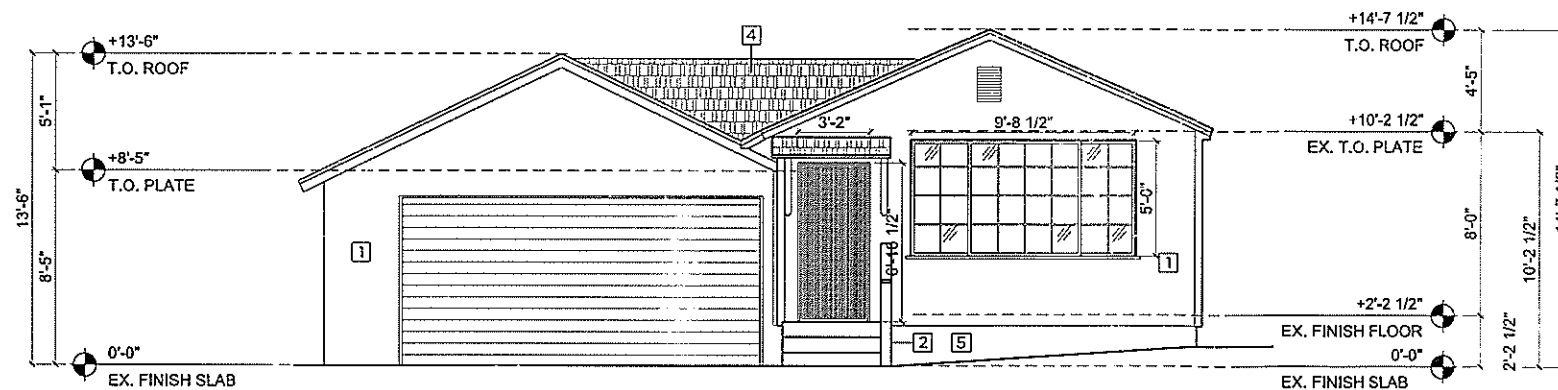
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SCALE: 1/4"=1'-0"

SECOND UNIT SOUTH ELEVATION O2



SCALE: 1/4"=1'-0"

SECOND UNIT WEST ELEVATION O1

#### NOTES TO SHEET

- 1 STUCCO
- 2 PAINT GRADE WOOD
- 3 BRICK
- 4 CLASS "A" ASPHALT ROOFING
- 5 CONCRETE SLAB/STEM WALL
- 6 WOOD SIDING
- 7 CEMENT FIBER BOARD
- 8 EXISTING ALUMINUM SIDING TO BE REMOVED
- 9
- 10

#### GENERAL ELEVATION NOTES

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#### ARCHITECT



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#### PROJECT

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APN 5847-028-026

APN 5847-028-024

#### OWNER

LINSCOTT

110 S. GREENWOOD AVE.

PASADENA, CA 91107

#### REVISIONS

ISSUE	DESCRIPTION	DATE
1		

#### ARCHITECT AND APPLICANT

LAUREN ADAMS, AIA  
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#### PROJECT NAME

LINSCOTT

#### DATE

06.02.14

#### SCALE

1/4" = 1'-0"

#### DRAWN

LA/MH

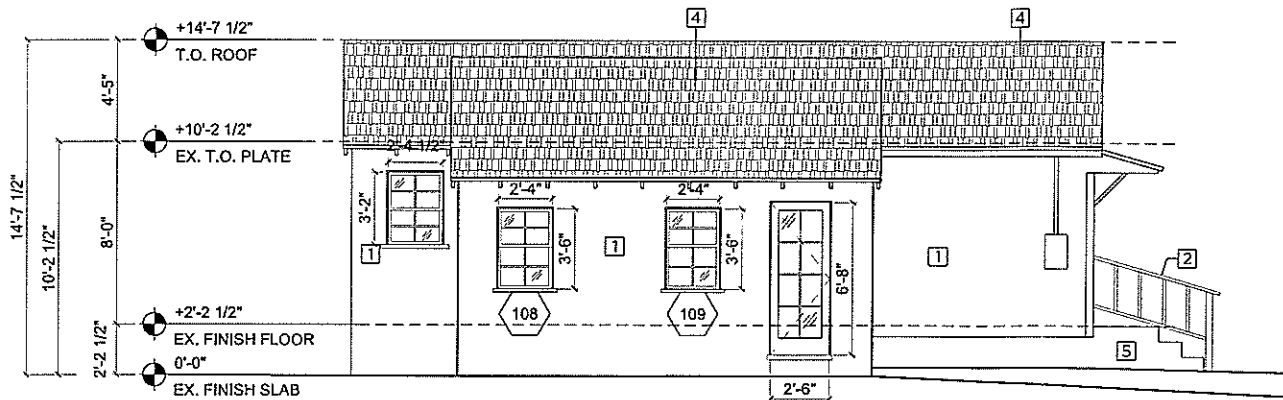
#### JOB #

1328.00

#### DRAWING NAME

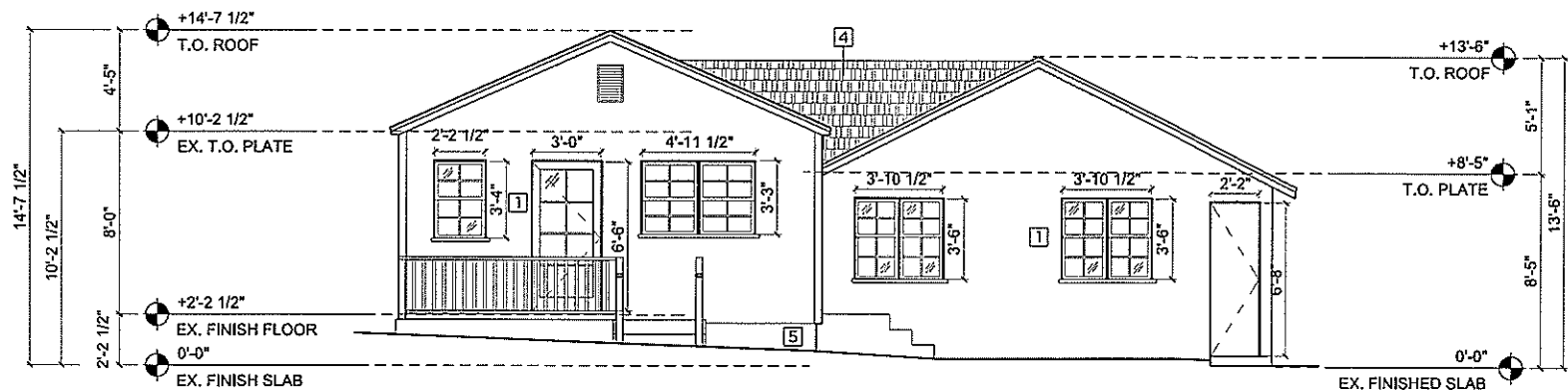
SECOND UNIT EXTERIOR ELEVATIONS

**A-6.6**



SCALE: 1/4"=1'-0"

SECOND UNIT NORTH ELEVATION O2



SCALE: 1/4"=1'-0"

SECOND UNIT EAST ELEVATION O1

NOTES TO SHEET

- 1 STUCCO
- 2 PAINT GRADE WOOD
- 3 BRICK
- 4 CLASS "A" ASPHALT ROOFING
- 5 CONCRETE SLAB/STEM WALL
- 6 WOOD SIDING
- 7 CEMENT FIBER BOARD
- 8 EXISTING ALUMINUM SIDING TO BE REMOVED
- 9
- 10

GENERAL ELEVATION NOTES

1. CONTRACTOR TO VERIFY CONFORMANCE TO CITY AGENCY BUILDING HEIGHTS AND ENVELOPE LIMITS. INFORM ARCHITECT OF ANY DISCREPANCIES.
2. CONTRACTOR TO COORDINATE W/ LANDSCAPE DRAWINGS FOR EXACT LOCATIONS AND ELEVATIONS OF HARDSCAPE. INFORM ARCHITECT OF ANY DISCREPANCIES.
3. PROVIDE CONTINUOUS SHEET METAL WEEP SCREED. LOCATE WEEP SCREED AT LOWEST POSSIBLE POINT OF CONCRETE FOOTING AND SILL PLATE. COLOR COAT FACE OF CONCRETE BELOW WEEP SCREED TO A POINT NOT LESS THAN 4" BELOW FINISH GRADE WHERE WALKS, STEPS, PATIOS, OR OTHER FINISH SURFACES DO NOT OCCUR.
4. U. L. APPROVED SPARK ARRESTORS W/ METAL SHROUD AT TOPS OF ALL FIREPLACE CHIMNEYS. USE IN ACCORDANCE WITH U.L. APPROVED METALBESTOS #SS11 FLUE SYSTEM BY SELKIRK, ALL CHIMNEYS SHALL TERMINATE NOT LESS THAN 2'-0" ABOVE THE HIGHEST POINT OF ROOF WITH IN 10'-0" OF CHIMNEY.

ARCHITECT



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PROJECT

LINSCOTT

1673 NEW YORK DR. (MAIN)

1917 SINALOA AVE. (2ND UNIT)  
ALTADENA, CA 91001

APN 5847-028-026

APN 5847-028-024

OWNER

LINSCOTT

110 S. GREENWOOD AVE.  
PASADENA, CA 91107

REVISIONS

ISSUE	DESCRIPTION	DATE
1		

ARCHITECT AND APPLICANT

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PROJECT NAME

LINSCOTT

DATE

06.02.14

SCALE

1/4" = 1'-0"

DRAWN

LA/MH

JOB #

1328.00

DRAWING NAME

SECOND UNIT EXTERIOR ELEVATIONS

A-6.7